

ECONOMICALLY INTEGRATED COHOUSING

An aerial photograph of a town, likely in a mountainous region, showing a mix of residential and commercial buildings. The town is nestled in a valley, with rolling hills and mountains in the background. The foreground shows a dense residential area with many small houses and some larger commercial buildings. The middle ground features a mix of housing types, including what appears to be a larger apartment complex or cohousing development. The background shows more hills and mountains, some with patches of snow or light-colored rock.

2021 CohoUS
Cohousing Affordability Conference

Presenters



WHDC
**JIM
LEACH**



CoHousing Solutions
**KATIE
McCAMANT**



Caddis Collaborative
**BRYAN
BOWEN**



Flatirons Habitat
**SUSAN
LYTHGOE**



PROJECTS



Holiday Neighborhood

Wild Sage Cohousing | Boulder CO - 34 Homes, 1.48 Acres





Wild Sage carriage units



Wild Sage stacked Townhomes

- Affordable units built with Flatirons Habitat



Silver Sage Cohousing

Boulder CO - 16 Homes, 0.8 Acres





Silver sage affordable units

Creative Land Use Can Enable Affordability

- Density bonus – 11 units on a site zoned for 4
- 7 Deed restricted affordable units



Nomad Cohousing – Boulder CO

Washington Village

Boulder, Colorado



Cohousing in the Historic Washington School

12 affordable units out of 38 total

Price range from \$100,000 to \$1,000,000

Treehouse Village EcoHousing | 30 homes, 14.75 acres



Cinema Court

Moab, UT - 60 homes, 5 Acres



MAPS

Moab, UT - 36 homes, 1.9 Acres



Bozeman Cohousing | 43 homes, 5.3 acres



Petaluma Ave Homes

Sebastopol CA Tax-credit Rental, 30 - 50% AMI



PETALUMA AVENUE HOMES, SHEET 1 OF 1
DATE: 11/11/11



Ponderosa

Boulder, CO - Approx 70 units, 6.3 acres





1 CARRIAGE HOUSE A - WEST ELEVATION
ELEVATION 1/16" = 1'-0"



2 CARRIAGE HOUSE A - NORTH ELEVATION
ELEVATION 1/16" = 1'-0"



2 DUPLEX BB - LEFT ELEVATION
ELEVATION 1/16" = 1'-0"



3 DUPLEX BB - REAR ELEVATION
ELEVATION 1/16" = 1'-0"



1 DUPLEX BB - FRONT ELEVATION
ELEVATION 1/16" = 1'-0"



2 DUPLEX BB - LEFT ELEVATION
ELEVATION 1/16" = 1'-0"



4 CARRIAGE HOUSE A - SOUTH ELEVATION
ELEVATION 1/16" = 1'-0"



5 CARRIAGE HOUSE A - EAST ELEVATION
ELEVATION 1/16" = 1'-0"



5 DUPLEX BB - FRONT ELEVATION
ELEVATION 1/16" = 1'-0"



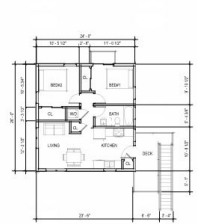
6 DUPLEX BB - RIGHT ELEVATION
ELEVATION 1/16" = 1'-0"



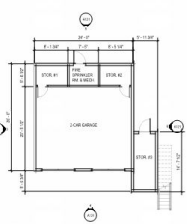
4 DUPLEX BB - RIGHT ELEVATION
ELEVATION 1/16" = 1'-0"



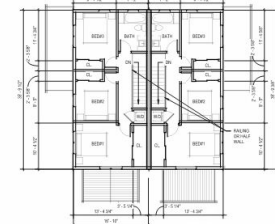
5 DUPLEX BB - REAR ELEVATION
ELEVATION 1/16" = 1'-0"



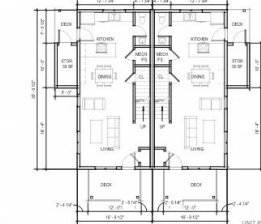
6 CARRIAGE HOUSE A - LEVEL 2
ELEVATION 1/16" = 1'-0"
UNIT A AREA - 634 SF



7 CARRIAGE HOUSE A - LEVEL 1
ELEVATION 1/16" = 1'-0"
UNIT A GARAGE AREA - 725 SF
TOTAL AREA - 1359 SF

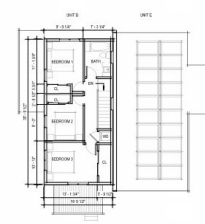


7 DUPLEX BB - LEVEL 2
ELEVATION 1/16" = 1'-0"
UNIT B LEVEL 2 AREA - 575 SF PER UNIT

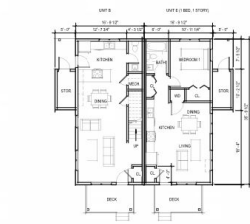


6 DUPLEX BB - LEVEL 1
ELEVATION 1/16" = 1'-0"

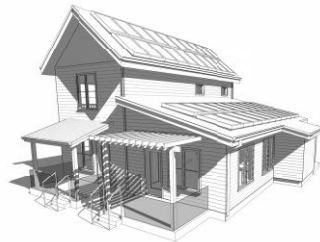
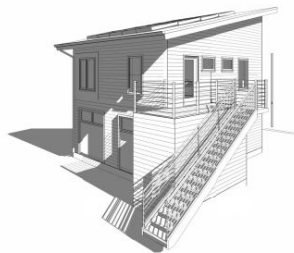
DESIGN GUIDELINES | PONDEROSA



6 DUPLEX BB - LEVEL 2
ELEVATION 1/16" = 1'-0"
UNIT B AREA - 575 SF



7 DUPLEX BB - LEVEL 1
ELEVATION 1/16" = 1'-0"
UNIT B AREA - 603 SF
TOTAL SF UNIT B - 1232 TOTAL SF UNIT B - 603 SF



Cottonwood House

Broomfield, CO - 9 rental units, ~15
homeownership units, acres



Palo Parkway

Boulder, CO - 9 units





**PROVEN
STRATEGIES**

Funding Strategies for Affordability

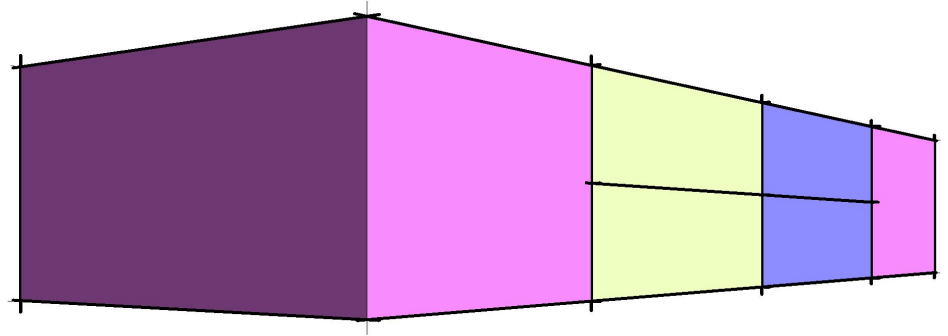
- Entitlement Related
 - Density Bonus, Reduced Fees, Approvals
- Externally Sourced Subsidy
 - City/County/State
 - Grants
- Internal Subsidy
 - Community as a Whole
 - Smaller Group of Neighbors
- Partnership
 - Habitat for Humanity
 - Housing Authority
 - Developer



Wild Sage Cohousing

Unit Mix for Passive Affordability

- Realistic pro-forma
- Few unit types (3-5)
- Simple architecture
 - Repeat building types
 - Stack flats
 - Share walls
- Affordable units to the inside
- Great spaces between buildings
- Understand impact of unit mix on accessibility



Townhomes and Flats

Alternative Housing Typologies

- Rentals
 - Same plan as for-sale units
 - Who owns?
 - Individual
 - Small group
 - The community
- House sharing
 - Same plan as for-sale units
 - Typically informal
- Co-op
 - Requires a different building type
 - Needs an owner



Intergenerational Townhome/Flat Combo

- Wealth Transfer Strategy
- Townhome stacked over an accessible, on-grade, flat.
- Approach:
 - Boomer buys the whole unit/duplex
 - Family member lives below
 - Residents swap when the time comes
 - Mutual support is ongoing
 - Younger generation winds up with the unit



What Happens After Move-In?

- Stories to share?





DISCUSSION